

**DEMOLITION**

The Contractor shall comply with the Health and Safety in Employment Act 1992 (the Act) and the Health and Safety in Employment Regulations 1995, and take all steps necessary to assist the Principal to comply with the provisions of the Act. Advise the Project Manager immediately of any obligations under the Act that are not being fulfilled by any party. Take no action which would in any way prevent the Principals compliance with the Act.

The Contractor shall take all reasonably practicable steps to ensure that the site, work procedures and equipment used are maintained and carried out in a safe manner. Potential hazards shall be reported to the Principal and either eliminated, minimized or isolated, as is reasonably practicable, and as required by the Act.

**SCOPE OF WORK**

The contract includes the supply of all materials and equipment necessary for the demolition, removal of surplus material and terminating of services to the defined part areas of ("address"1). The contractor shall confine his operations to the site areas. Skips etc shall be contained within this area and an enclosed rubbish chute is to be constructed to minimize dust and debris.

**SERVICES**

Electrical, plumbing and drainage and mechanical services in the demolition areas shall be disconnected, plant, equipment and fittings removed and left capped off or terminated in a safe and hygienic manner.

**PROTECTION**

The Neighbouring buildings shall be protected from damage, dust and noise at all times. All adjoining footpaths, parking areas and roadways shall be protected from damage and shall be cleaned down regularly and as necessary to maintain the areas free for the convenient use by others and to maintain a tidy appearance. The contractor shall be liable for all costs associated with the reinstatement of any damage to adjoining property, footpaths or roadways. All existing buildings, materials to be retained shall be protected from damage and kept watertight and secure during the course of and at completion of the work.

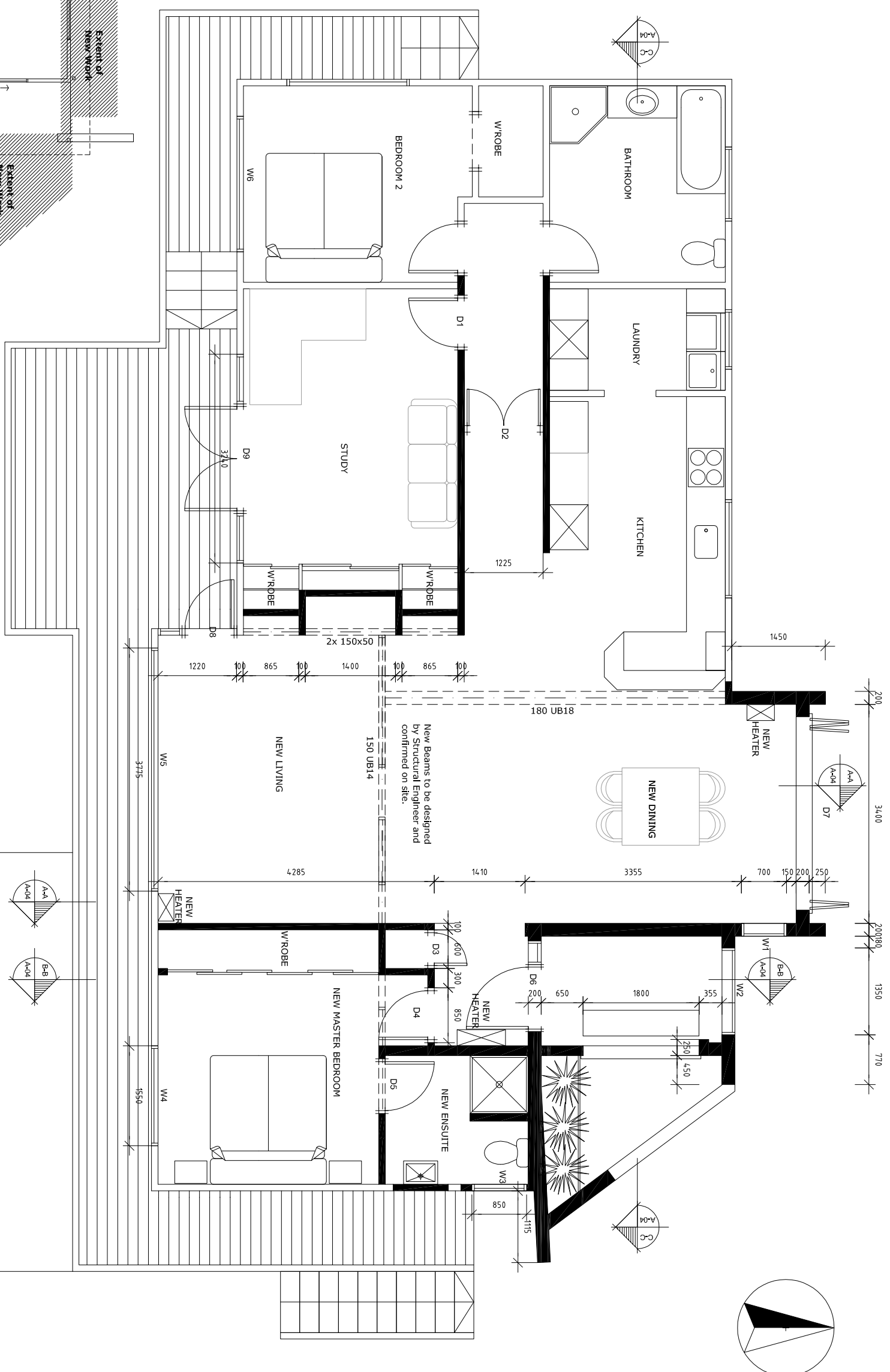
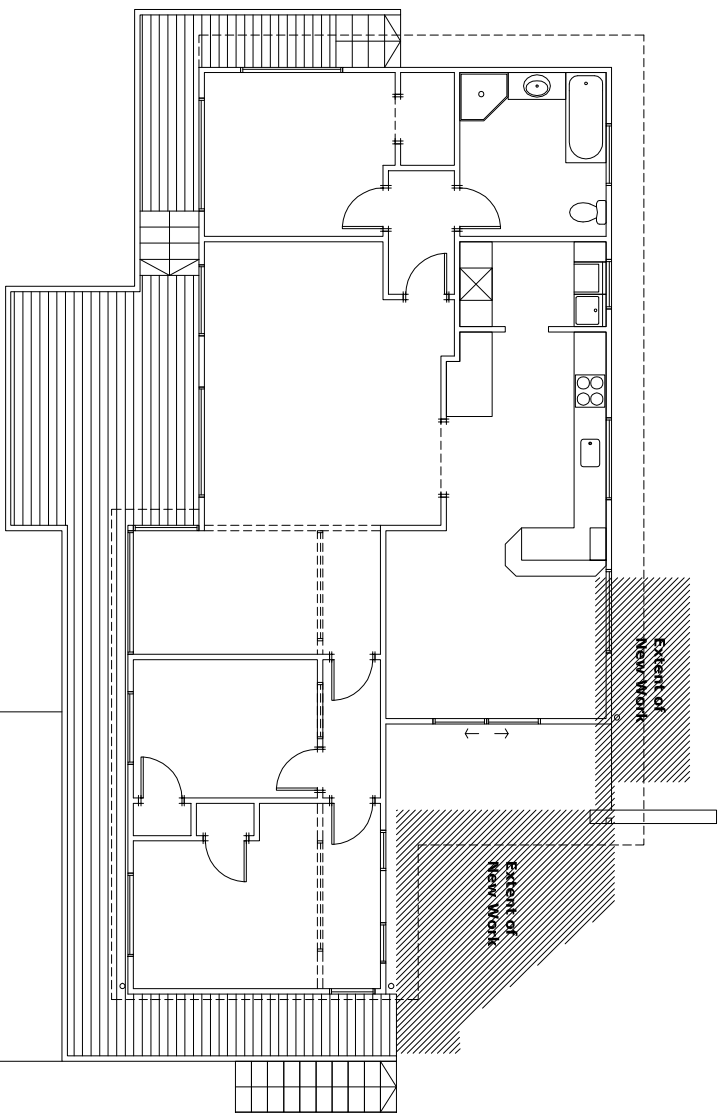
**AVOIDANCE OF NUISANCE**

The contractor shall ensure maximum reduction of noise from the work, and that dust and flying debris are contained adequately to ensure the safety of the existing building, its occupants, neighbouring buildings and the general public.

All demolition work shall be carried out in such a manner as to cause the least possible hazard and inconvenience to the public and building tenants.

**COMPLETION**

Make good all damaged work using new materials as and where necessary. Ensure all services are left hygienic and safe. Ensure all potential hazards as a result of the demolition work are protected and well identified. Provide the Project Manager/Owner with any relevant information necessary for the location of capped off or terminated services. Leave the whole of the site in a clean and tidy state to the satisfaction of the Project Manager.



- GENERAL NOTES**
- All work is to comply with the NZBC 1992, and any subsequent amendments, and to the satisfaction of the territorial authority.
  - Confirm all setout dimensions on site before commencing construction.
  - All trades shall visit site and make themselves fully conversant with all conditions concerning this scope of works and in particular to ascertain the full extent and nature of the works.
  - Trades are to allow for scaffolding and any other equipment or necessary to carry out the works.
- AFFL = above finished floor level. FCL = finished ceiling level.
  - FFL = finished floor level. FGL = finished ground level.
  - COS = confirm this dimension on site.
  - CLR = clear dimension between finished face.
  - CW = complete width.

- Indicates solid concrete / concrete block walls (existing).
- Indicates timber framed walls (existing).
- Indicates timber framed walls (new).
- Indicates new beams or walls above.
- Indicates existing beams or walls above.
- Areas of New Work (shown shaded).

JOB TITLE		DRAWING TITLE	
Existing & Proposed Plans		Existing & Proposed Plans	
DATE	DATE	DATE	DATE
08/01/07	08/01/07	08/01/07	08/01/07
BY	BY	BY	BY
AS SHOWN	AS SHOWN	AS SHOWN	AS SHOWN
31.01.2008	31.01.2008	31.01.2008	31.01.2008
DRAWING NO.		REVISION	
A-01		-	
5th Floor Commercial House 7 Bond Street Dunedin P.O. Box 203 Dunedin Phone: (03) 477-5214 Fax: (03) 477-5212 architects@mbaker.co.nz			

**PLUMBING & DRAINAGE**

- dp = downpipe
- hwc = hot water cylinder
- IO = inspection opening
- og = overflow gully to head of drain.
- sh = shower
- FA = From Above
- TB = To Below
- sk = sink
- tub = laundry tub
- wc = toilet
- whb = wash hand basin
- ht = hose tap
- tv = terminal vent

- FS = New 110mm Ø foul water drain (FS Drain). Allow to connect to existing fs drain.
- BFWD = New branch foul water drains (BFWD) connected to fixtures to diameter shown.
- SW = New 110mm dia Surface water drain (SW Drain). Allow to connect into existing surface water drain.

**FIGURE DISCHARGE UNITS**

Sanitary fixture	Min pipe Ø	F:Unit rating	ratio (1:40) / pipe Ø
bath:	400 1:40	(4)	400 max DU (4)
shower:	40-500 1:40	(2)	500 max DU (8)
toilet:	80-1000 1:40	(6)	650 max DU (21)
tub:	40-500 1:40	(5)	800 max DU (27)
washing machine:	400 1:40	(3)	1000 max DU (182)
dishwasher:	400 1:40	(3)	
wash hand basin:	400 1:40	(1)	

Note: drain layout shown on this plan is in diagrammatic form, and indicates only approximate positions of new drains. Confirm on site final layout. All Plumbing and Drainage Work is to comply with the NZBC: 1992, approved documents E/AS1, G12/AS1, G13/AS1 & AS2, including any amendments.

**EXISTING SURFACE WATER & FOUL WATER DRAINAGE**

The Contractor shall allow (during the tender period) to visit the site & locate the existing surface & foul water drainage & any other services & determine whether these will be affected by the extent of the new works. Should these services be affected, the Contractor shall allow for all alterations to the existing drainage as necessary, and identify the cost in the tender submission. Any modifications to the existing drainage are to comply with the NZBC: 1992, and its subsequent amendments.

**ELECTRICAL NOTES.**

**SCOPE OF WORK**

Comprises the provisions of all plant, labour, materials and equipment necessary to completely install, test and commission to full working order ready to hand over to the employer in running condition, the subcontracted services as generally but not specifically listed below:

- a) Planning of the subcontract and coordination with other trades.
- b) Connection to existing Switch Board.
- c) Sub circuit Cabling.
- d) Terminal fittings and accessories.
- e) Earthing
- f) Labelling and Identification.
- g) Allow to refasten existing light fittings as per plan.
- h) Allow to rewire all relocated lights to switches etc and connect to DB.
- i) Install new lights and socket outlets etc as specified.

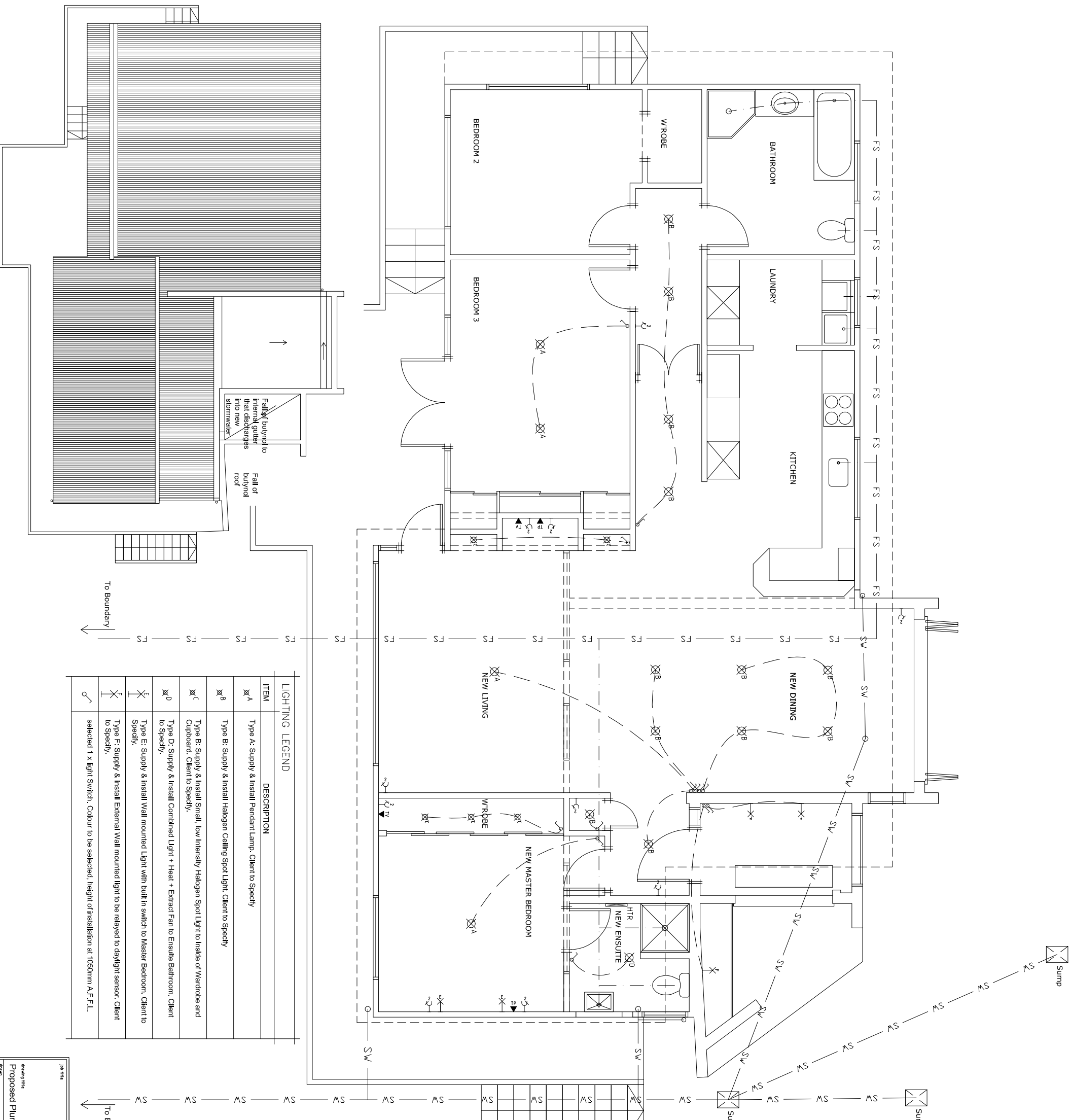
**ELECTRICAL.**

1. All components such as switches, socket outlets etc are to be supplied by electrical sub contractor.
2. Confirm final positions of all lights with architect on site before forming cutouts in ceilings, walls etc.

ALL ELECTRICAL WORK AND MATERIALS SHALL COMPLY WITH THE ELECTRICITY REGULATIONS 1993 AND ALL SUBSEQUENT AMENDMENTS, THE LOCAL ELECTRICITY SUPPLY AUTHORITY BY-LAWS AND THE REQUIREMENTS OF NZBC:1992.

**ELECTRICAL LEGEND**

ITEM	DESCRIPTION
HTR	Heated Towel Rail to ensuite Bathroom. Client to Specify.
TP	Selected 1x Telephone Outlet. Colour to be selected.
TV	Selected Television Aerial Outlet with Sky Television connection. Colour to be selected.
?	New double switched socket 10A outlet.



**LIGHTING LEGEND**

ITEM	DESCRIPTION
⊗A	Type A: Supply & install Pendant Lamp. Client to Specify
⊗B	Type B: Supply & install Halogen Ceiling Spot Light. Client to Specify
⊗C	Type B: Supply & install Small, low Intensity Halogen Spot Light to inside of Wardrobe and Cupboard. Client to Specify.
⊗D	Type D: Supply & install Combined Light + Heat + Extract Fan to Ensuite Bathroom. Client to Specify.
⊗E	Type E: Supply & install Wall mounted Light with built in switch to Master Bedroom. Client to Specify.
⊗F	Type F: Supply & install External Wall mounted light to be relayed to daylight sensor. Client to Specify.
⊗	selected 1 x Light Switch. Colour to be selected; height of installation at 1050mm A.F.F.L.

Job Title: Proposed Plumbing & Electrical Layout

Drawing Title: Proposed Plumbing & Electrical Layout

Client: AS SHOWN

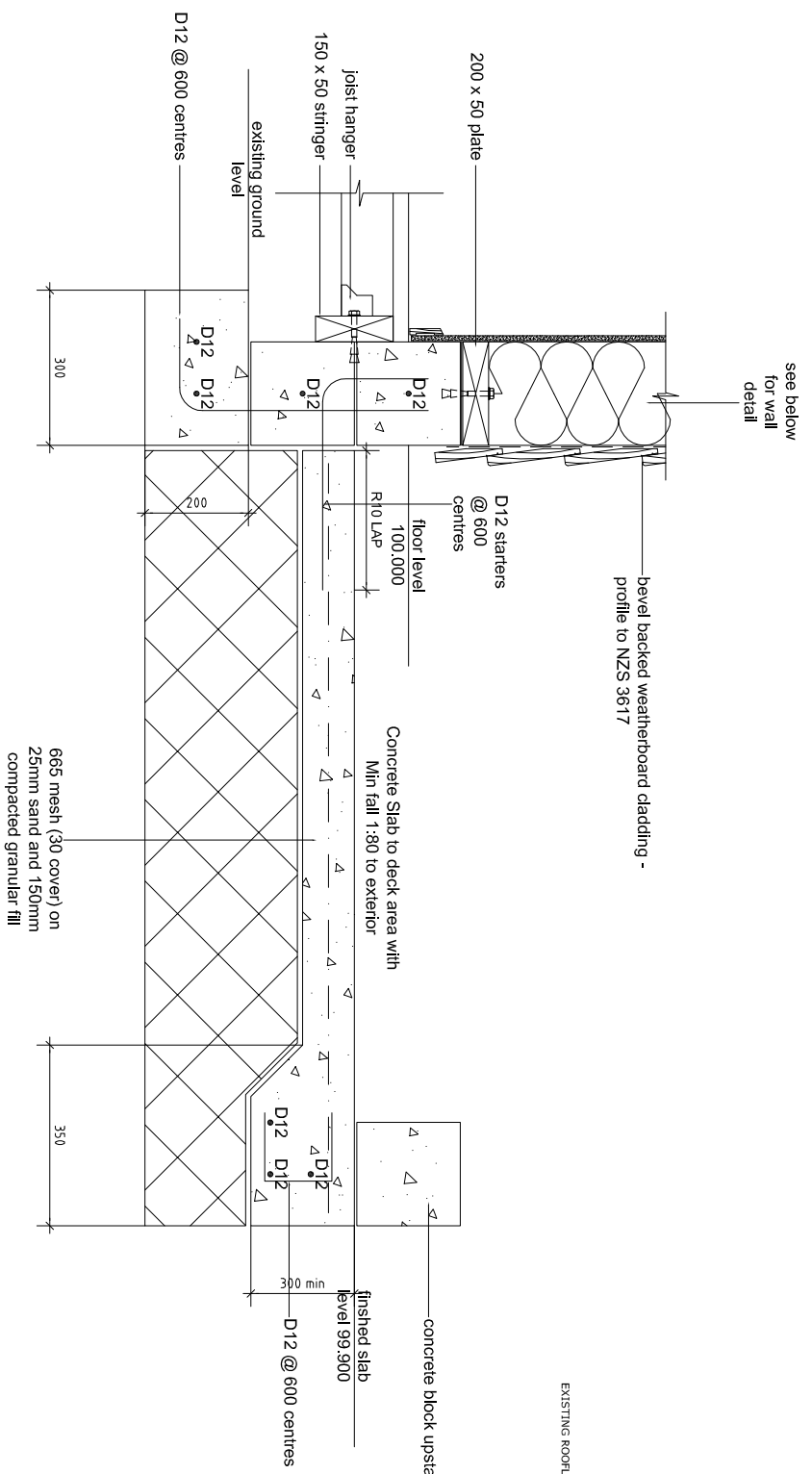
Date: 31.01.2008

Scale: A-03

Architect: **BAKER GARDEN ARCHITECTS**

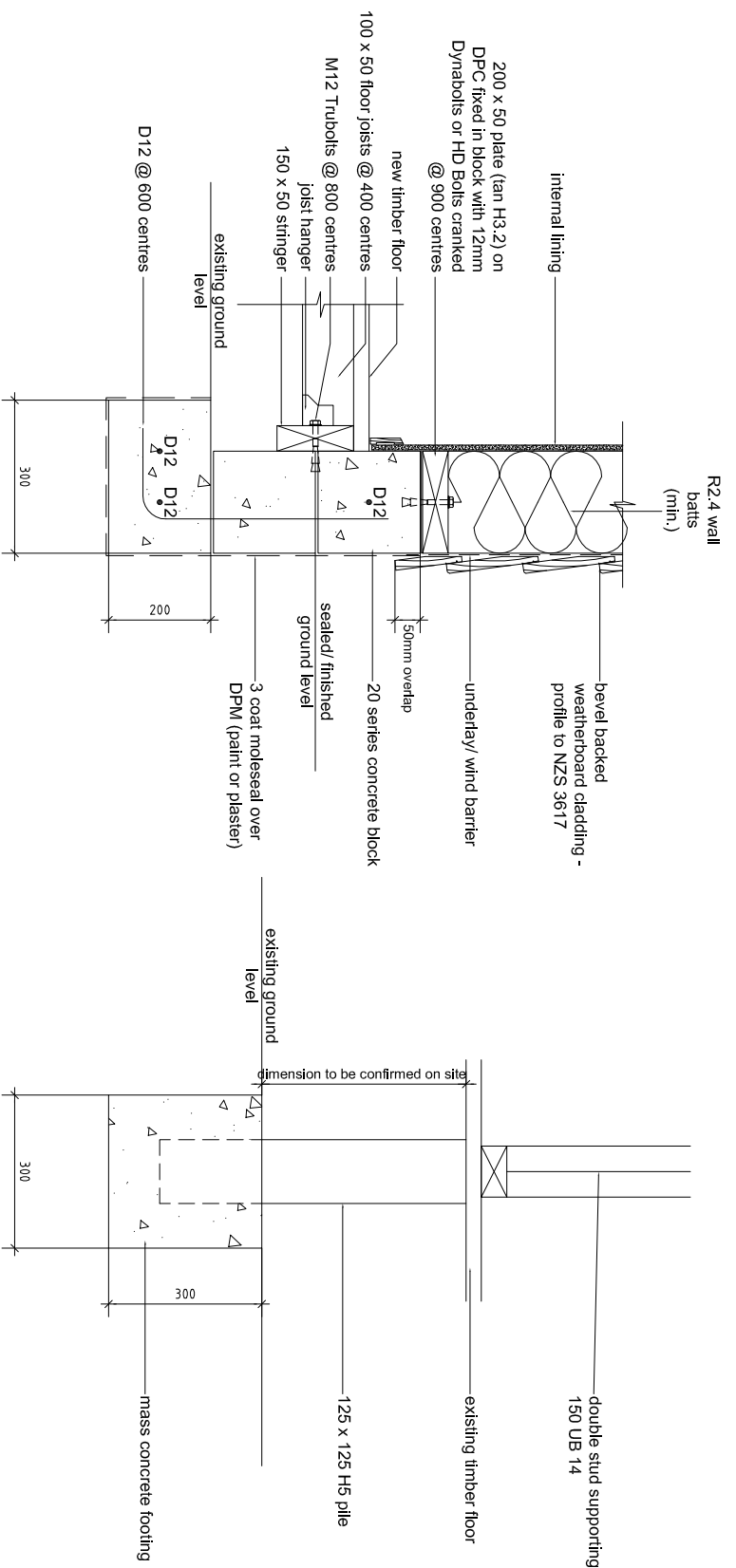
5th Floor Commercial House, 7 Bond Street Dunedin, P.O. Box 203 Dunedin

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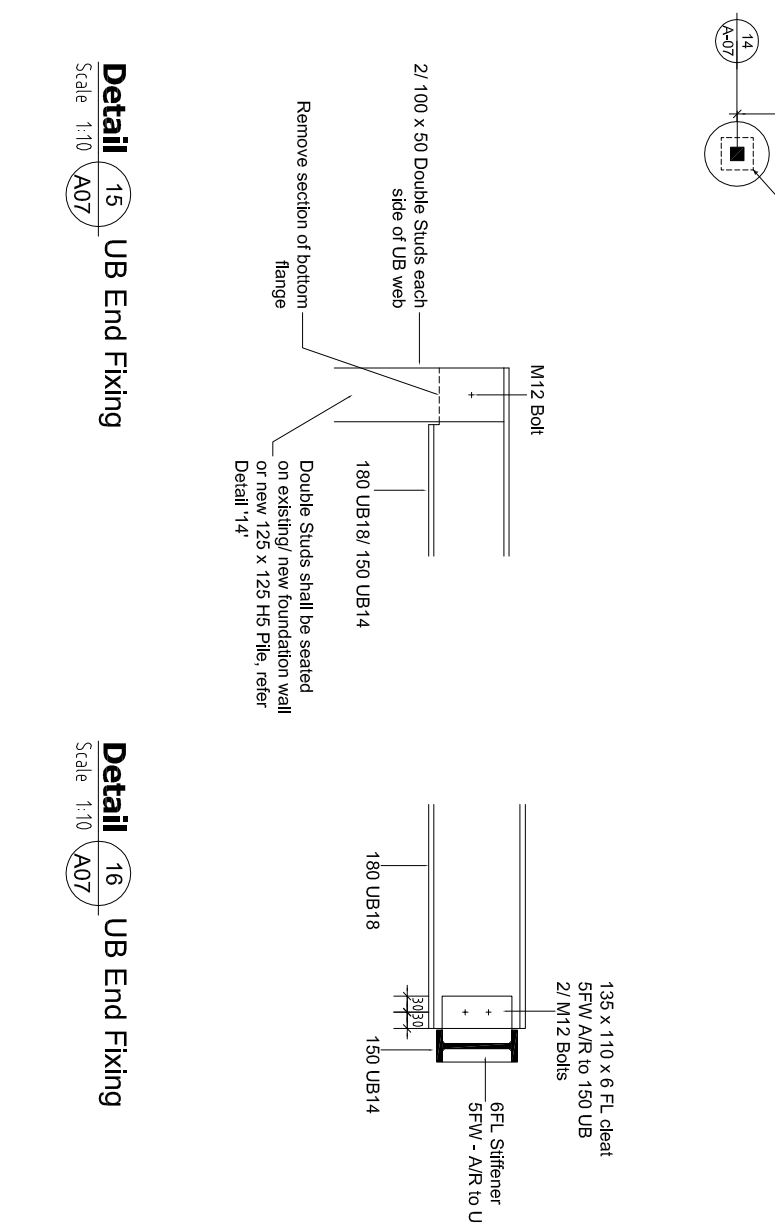
# SECTION D-D

Scale: 1:10



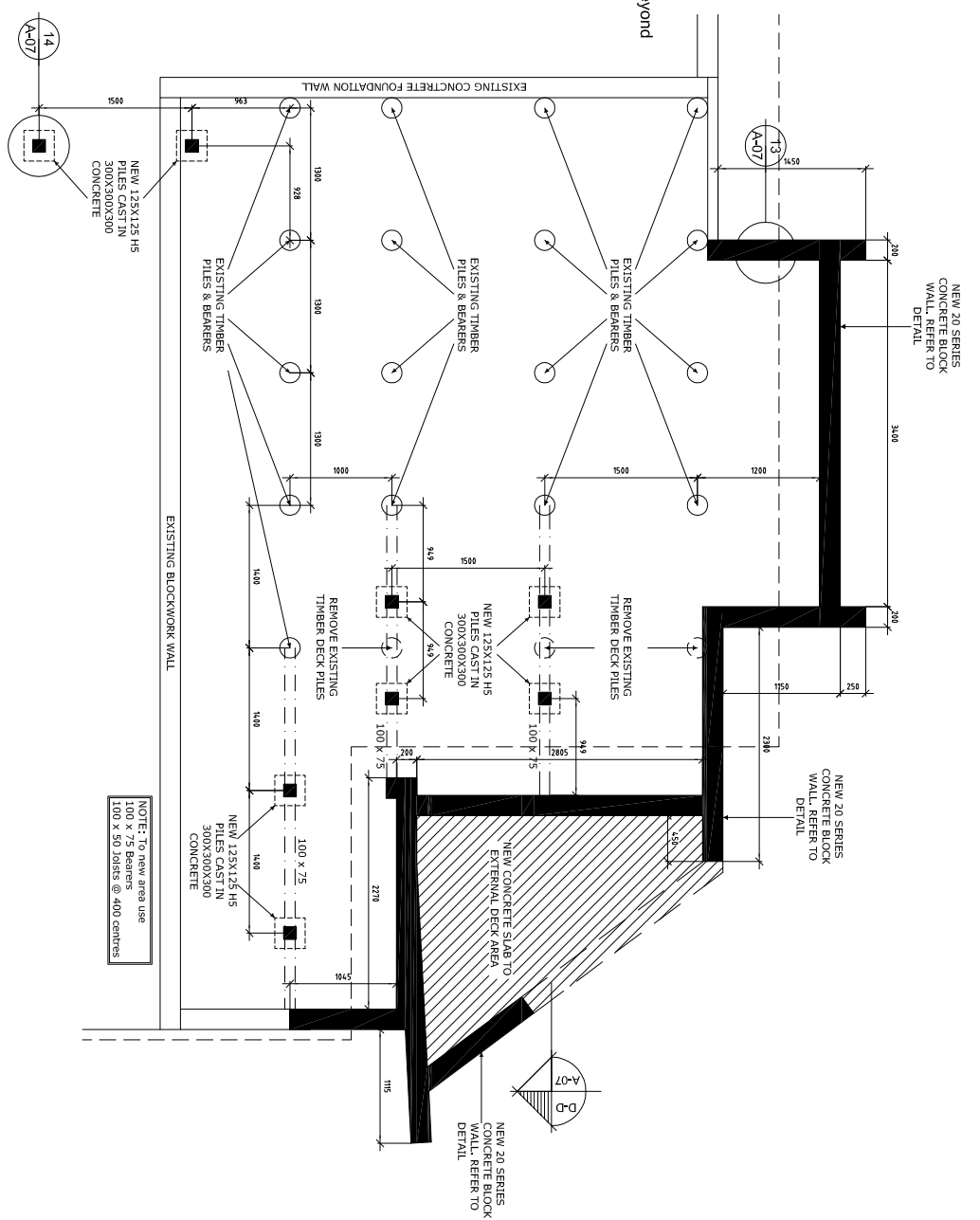
**Detail 13** Block wall footing detail

Scale 1:10 A07



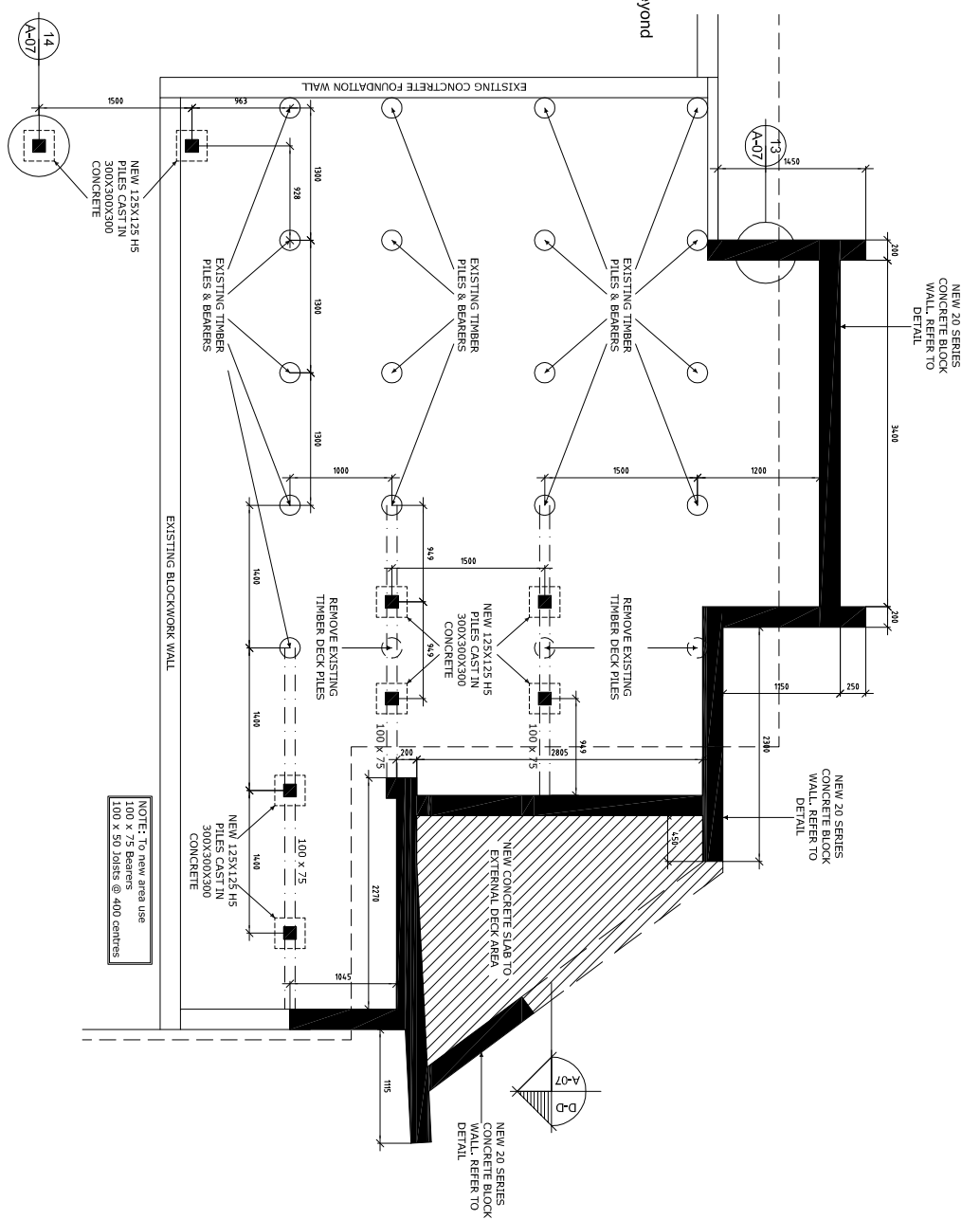
**Detail 14** Foundation detail

Scale 1:10 A07



**Detail 15** UB End Fixing

Scale 1:10 A07



**Detail 16** UB End Fixing

Scale 1:10 A07

job title	drawing title	date	revision
Structural Plan & Details	31.01.2008	A-07	-
5th Floor Contemporary Home 7 Bond Street Dunedin	Architect bga BAKER GARDEN ARCHITECTS	Client AS SHOWN	Project AS SHOWN
P.O. Box 203 Dunedin Phone: (03) 477-4314 Fax: (03) 477-5312 architect@bakergarden.co.nz			